

# BARNESVILLE

## MINNESOTA

### Project Identification

Project Name: City of Barnesville Hail Damage – Asphalt Shingle Roof Replacement

Project Number: CP314994

Project Information: Reference Specifications and Bid Documents Attached

You are hereby invited to submit a bid for the above-referenced project.

### Following is a summary description of the project:

Removal and replacement of asphalt shingle roofing system on 12 buildings/structures in the City of Barnesville, Minnesota. Please reference the attached bid documents for a more detailed description of the scope of work for each structure.

It is anticipated the project shall commence within 30 days after awarding the project and shall be completed 120 days after awarding the project.

To bid for this contract, the contractor must be licensed and insured. Proof of licensure and proof of insurance should be submitted with the bid. The bid proposal shall include a statement that the contractor complies with all applicable local, state, and federal statutory requirements, including the Equal Employment Opportunity Act and any other applicable requirements.

The bid must be accompanied by cash, a certified check, cashier's check, or bid bond payable to the City in the amount of not less than five percent (5%) of the bid. All bid securities will be held until a purchase award has been made. The security of the successful bidder will be held until the bidder has fully complied with all purchasing procedures.

Bids will be accepted starting on June 11, 2024, and will be received until July 8, 2024, at 10:00 a.m. local time. Bid opening will take place on July 8, 2024, immediately following bid closing.

All bids shall be hand delivered or sent to City of Barnesville: City Hall.

All Bids shall be submitted on this bid proposal form and shall be submitted prior to the deadline.

Any questions regarding the bid or the project shall be addressed to Jeremy Cossette, City Administrator (cityadministrator@barnesvillemn.com).

Company Bidding: \_\_\_\_\_

Attn: \_\_\_\_\_

Address: \_\_\_\_\_

*Street Address*

\_\_\_\_\_

*City* *State* *ZIP Code*

(       ) (       )

*Telephone* *Fax*

\_\_\_\_\_

*E-mail*

Signed: \_\_\_\_\_





**REVISIONS:**

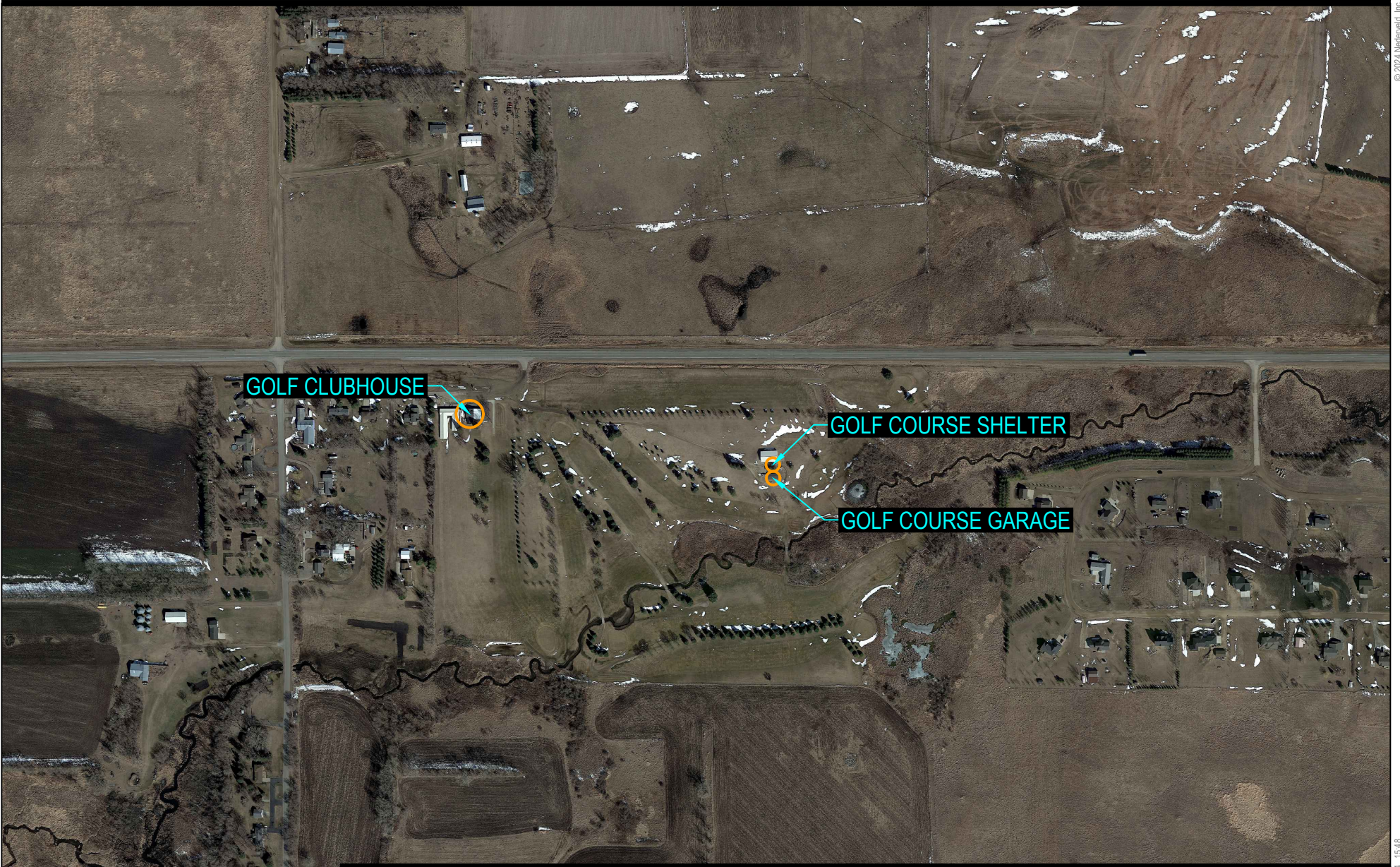
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<b>SITE PLAN - SHINGLE ROOFING</b>	
CITY OF BARNESVILLE, MN / REF No. CP314994	
BARNESVILLE, MN 56514	
PROJECT MANAGER: KM	<b>PRJ NO: 24801378</b>
DRAWN BY: TM	
CHECKED BY:	
DRAWN DATE: 06/06/2024	<b>1 OF 2</b>
CHECKED DATE:	



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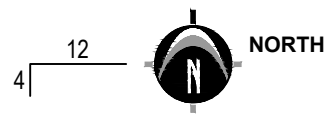
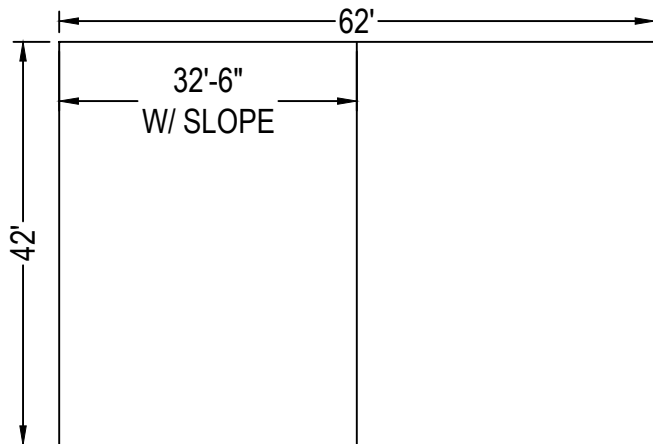
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CITY OF BARNESVILLE, MN / REF No. CP314994	
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**PROJECT SPECIFICATIONS:**  
 SCOPE OF WORK INCLUDES REMOVAL OF ASPHALT SHINGLE ROOFING SYSTEM AND REPLACEMENT WITH INDUSTRY EQUIVALENT MATERIALS IN ACCORDANCE WITH THE 2020 MINNESOTA BUILDING CODE AND STANDARD INDUSTRY PRACTICES INCLUDING MANUFACTURER INSTALLATION INSTRUCTIONS. REMOVAL AND REINSTALLATION OF ROOFTOP APPURTENANCES AS REQUIRED DURING SHINGLE REPLACEMENT. TURF/SITE RESTORATION AND DISPOSAL OF OLD ROOFING MATERIALS SHALL ALSO BE COMPLETED BY THE CONTRACTOR.

- BUILDING/SITE INFORMATION:**
- 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
    - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
    - b) TOTAL ROOF AREA = 2730 SQFT.
    - c) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
  - 2) ROOFTOP APPURTENANCES:
    - a) SIX PLASTIC TURTLE VENTS
  - 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 13'-0" ALONG THE EAST AND WEST ELEVATIONS.
  - 4) FENCED IN AREA ALONG WEST ELEVATION AND CONJOINING BUILDING AT SOUTH SIDE OF STRUCTURE.
  - 5) GOOGLE MAPS LOCATION:
    - a) <https://maps.app.goo.gl/tuu3VsvRQvyBQzmv5>



## ROOF PLAN

SCALE: 1":20'



**EAST/NORTH ELEVATION**

NO SCALE



**NORTH/WEST ELEVATION**

NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

**AMBULANCE GARAGE**

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**CITY OF BARNESVILLE, MN / REF No. CP314994**

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102 2ND AVE NW, BARNESVILLE, MN 56514

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PROJECT MANAGER: KM	PRJ NO: 24801378
DRAWN BY: TM	DRAWN DATE: 06/06/2024
CHECKED BY:	CHECKED DATE:

**1 OF 1**

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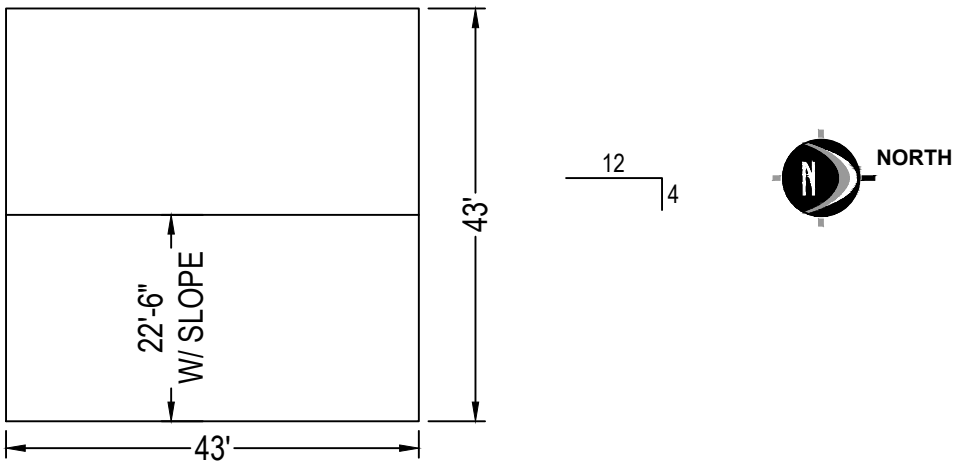
Ann Arbor, Chicago, Columbus,  
 Holland, Indianapolis, St. Louis



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**BUILDING/SITE INFORMATION:**

- ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
  - TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
  - TOTAL ROOF AREA = 1935 SQFT
  - WASTE FACTOR NOT INCLUDED WITH ROOF AREA
  - NO ROOFTOP APPURTENANCES
- HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 13'-0" ALONG THE EAST AND WEST ELEVATIONS. TOTAL RIDGE LENGTH = 105'
- MATURE VEGETATION AND SLOPED GRADE ALONG THE NORTH ELEVATION. SCATTERED EQUIPMENT MAY BE PRESENT ALONG THE SOUTH AND WEST ELEVATIONS.
- GOOGLE MAPS LOCATION:  
<https://maps.app.goo.gl/dedN8m51PqhDm2j7A>



### ROOF PLAN

SCALE: 1"=20'



**SOUTH ELEVATION**

NO SCALE



**EAST/NORTH ELEVATION**

NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

**RECYCLING CENTER**

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**CITY OF BARNESVILLE, MN / REF No. CP314994**

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205 FRONT STREET N, BARNESVILLE, MN 55046

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PROJECT MANAGER: KM	<b>PRJ NO: 24801378</b>
DRAWN BY: TM      DRAWN DATE: 06/06/2024	
CHECKED BY:      CHECKED DATE:	

**1 OF 1**

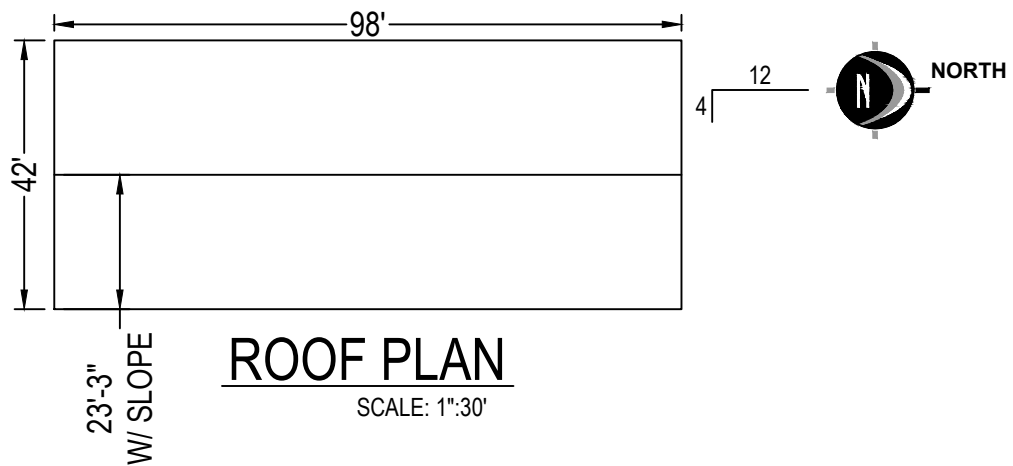
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**PROJECT SPECIFICATIONS:**  
 SCOPE OF WORK INCLUDES REMOVAL OF ASPHALT SHINGLE ROOFING SYSTEM AND REPLACEMENT WITH INDUSTRY EQUIVALENT MATERIALS IN ACCORDANCE WITH THE 2020 MINNESOTA BUILDING CODE AND STANDARD INDUSTRY PRACTICES INCLUDING MANUFACTURER INSTALLATION INSTRUCTIONS. REMOVAL AND REINSTALLATION OF ROOFTOP APPURTENANCES AS REQUIRED DURING SHINGLE REPLACEMENT. TURF/SITE RESTORATION AND DISPOSAL OF THE OLD ROOFING MATERIALS SHALL ALSO BE COMPLETED BY THE CONTRACTOR.

**BUILDING/SITE INFORMATION:**

- 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
  - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
  - b) TOTAL ROOF AREA = 4560 SQFT.
  - c) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
- 2) ROOFTOP APPURTENANCES:
  - a) FOUR ALUMINUM TURBINE VENTS WITH A 22" WIDE BASE.
  - b) THREE PIPE VENTS
- 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 15'-3".
- 4) FENCED IN AREA AND SCATTERED EQUIPMENT ALONG WEST ELEVATION. SLOPED GRADE AND MATURE VEGETATION LOCATED APPROXIMATELY 19' FROM NORTH SIDE OF STRUCTURE.
- 5) GOOGLE MAPS LOCATION:
  - a) <https://maps.app.goo.gl/WMmKBhufBHGep74j6>



**EAST ELEVATION**  
NO SCALE



**WEST/SOUTH ELEVATION**  
NO SCALE

**REVISIONS:**

Title:	Drawn:	Checked:	Date:

**ELECTRIC DEPARTMENT STORAGE**

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**CITY OF BARNESVILLE, MN / REF No. CP314994**

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102 2ND AVE NW, BARNESVILLE, MN 56514

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PROJECT MANAGER: KM	<b>PRJ NO: 24801378</b>
DRAWN BY: TM      DRAWN DATE: 06/06/2024	
CHECKED BY:      CHECKED DATE:	

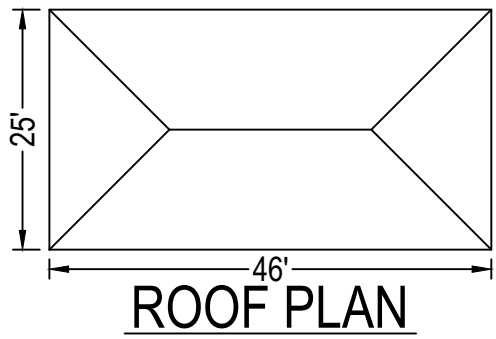
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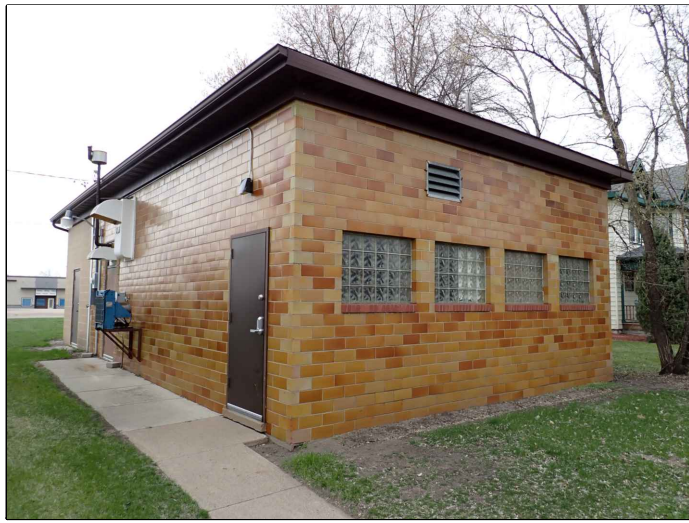


**PROJECT SPECIFICATIONS:**  
 SCOPE OF WORK INCLUDES REMOVAL OF ASPHALT SHINGLE ROOFING SYSTEM, GUTTERS, AND DOWNSPOUTS, AND REPLACEMENT WITH INDUSTRY EQUIVALENT MATERIALS IN ACCORDANCE WITH THE 2020 MINNESOTA BUILDING CODE AND STANDARD INDUSTRY PRACTICES INCLUDING MANUFACTURER INSTALLATION INSTRUCTIONS. REMOVAL AND REINSTALLATION OF ROOFTOP APPURTENANCES AS REQUIRED DURING SHINGLE REPLACEMENT. TURF/SITE RESTORATION AND DISPOSAL OF THE OLD ROOFING MATERIALS SHALL ALSO BE COMPLETED BY THE CONTRACTOR.

- BUILDING/SITE INFORMATION:**
- 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
    - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
    - b) TOTAL ROOF AREA = 1200 SQFT.
    - c) TOTAL RIDGE LENGTH = 100 FT
    - d) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
  - 2) ROOFTOP APPURTENANCES:
    - a) THREE PLASTIC TURTLE VENTS.
    - b) ONE 16"x21" ROOF HATCH.
  - 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 12'-6".
  - 4) ALUMINUM GUTTER AND DOWNSPOUT.
    - a) GUTTER = 46 LINEAR FEET
    - b) DOWNSPOUT = 12 LINEAR FEET
  - 5) SIMILAR SIZED STRUCTURES LOCATED ON NORTH AND SOUTH SIDES OF STRUCTURE. MATURE VEGETATION ALONG NORTH ELEVATION. POWER LINE ATTACHED TO ROOF AT SOUTH EAVE.
  - 6) GOOGLE MAPS LOCATION:
    - a) <https://maps.app.goo.gl/hoSgkZB7eX9rS7Vu7>



SCALE: 1"=20'



**SOUTH/EAST ELEVATION**

NO SCALE



**WEST ELEVATION**

NO SCALE

**REVISIONS:**

Title:	
Drawn:	Checked:      Date:

**SWITCHING HOUSE**

CITY OF BARNESVILLE, MN / REF No. CP314994

109 2ND ST NE, BARNESVILLE, MN 56514

PROJECT MANAGER: KM  
 DRAWN BY: TM      DRAWN DATE: 06/06/2024  
 CHECKED BY:      CHECKED DATE:

PRJ NO: 24801378

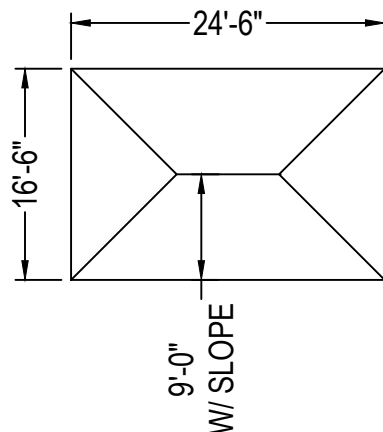
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**BUILDING/SITE INFORMATION:**  
 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.  
 a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.  
 b) TOTAL ROOF AREA = 430 SQFT.  
 c) TOTAL RIDGE LENGTH = 65 FT.  
 d) WASTE WATER FACTOR NOT INCLUDED WITH ROOF AREA.  
 2) ROOFTOP APPURTENANCES:  
 a) ONE PIPE VENT.  
 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 7'-8".  
 4) SITE IS OPEN AD FREE OF OBSTRUCTIONS.  
 5) GOOGLE MAPS LOCATION:  
 a) <https://maps.app.goo.gl/VG2tCJPS6PBDQTwf7>



**ROOF PLAN**

SCALE: 1"=15'



**EAST ELEVATION**

NO SCALE



**NORTH/WEST ELEVATION**

NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

**MCGRATH COMFORT STATION**

CITY OF BARNESVILLE, MN / REF No. CP314994

303 MAIN AVE WEST, BARNESVILLE, MN 56514

PROJECT MANAGER: KM  
 DRAWN BY: TM      DRAWN DATE: 06/06/2024  
 CHECKED BY:      CHECKED DATE:

**PRJ NO: 24801378**

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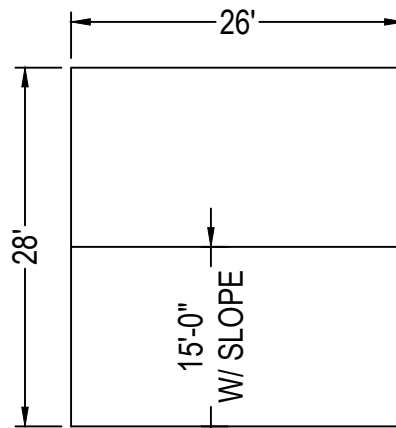
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**PROJECT SPECIFICATIONS:**

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**BUILDING/SITE INFORMATION:**

- 1) ROOF IS TO BE COVERED WITH LAMINATED FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
  - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
  - b) TOTAL ROOF AREA = 780 SQFT.
  - c) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
- 2) ROOFTOP APPURTENANCES:
  - a) ONE PIPE VENT
  - b) THREE PLASTIC TURTLE VENTS
- 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 8'-0".
- 4) FENCED OFF AREA LOCATED AT SOUTH SIDE OF STRUCTURE. LARGE SATELLITE DISHES LOCATED AT SOUTH AND EAST SIDES OF STRUCTURE. MATURE VEGETATION ALONG THE WEST ELEVATION.
- 5) GOOGLE MAPS LOCATION:
  - a) <https://maps.app.goo.gl/qCKS4npFeCEiXt2x9>



**ROOF PLAN**

SCALE: 1"=15'



**NORTH ELEVATION**

NO SCALE



**EAST ELEVATION**

NO SCALE

**REVISIONS:**

Title:	
Drawn:	Checked:      Date:

**CABLE TV BUILDING**

CITY OF BARNESVILLE, MN / REF No. CP314994

504 7TH AVE SE, BARNESVILLE, MN 56514

PROJECT MANAGER: KM  
 DRAWN BY: TM      DRAWN DATE: 06/06/2024  
 CHECKED BY:      CHECKED DATE:

PRJ NO: 24801378

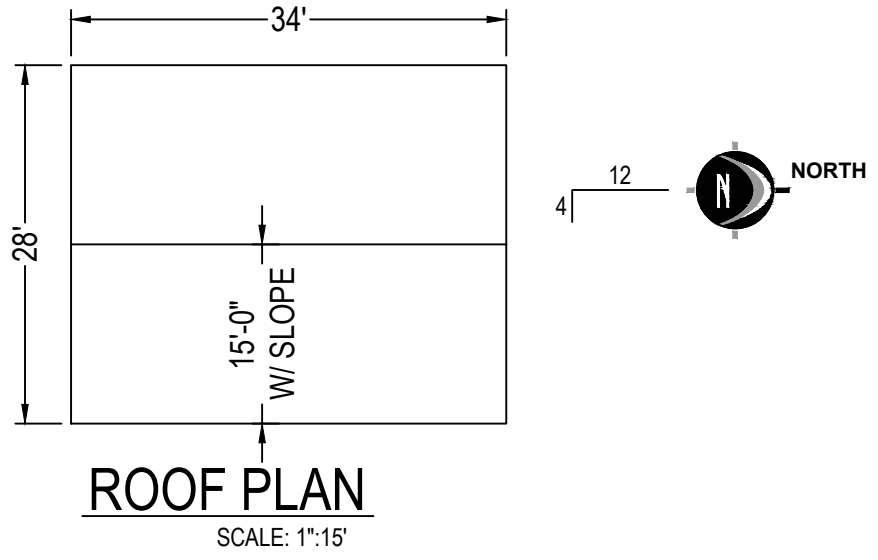
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**BUILDING/SITE INFORMATION:**  
 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.  
 a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.  
 b) TOTAL ROOF AREA = 1020 SQFT  
 c) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.  
 2) ROOFTOP APPURTENANCES:  
 a) ONE PIPE VENT.  
 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 8'-0".  
 4) POWER LINE ATTACHED TO ROOF ALONG NORTH EAVE.  
 5) GOOGLE MAPS LOCATION:  
 a) <https://maps.app.goo.gl/6QsCgnKrmuihX5oJA>



**SOUTH ELEVATION**

NO SCALE



**NORTH/EAST ELEVATION**

NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

**WARMING HOUSE**

CITY OF BARNESVILLE, MN / REF No. CP314994

620 3RD ST SE, BARNESVILLE, MN 56514

PROJECT MANAGER: KM  
 DRAWN BY: TM      DRAWN DATE: 06/06/2024  
 CHECKED BY:      CHECKED DATE:

**PRJ NO: 24801378**

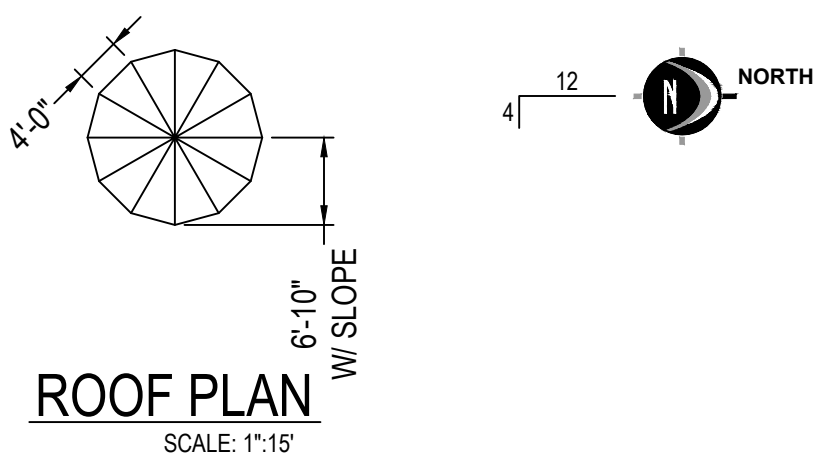
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**BUILDING/SITE INFORMATION:**

- 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT.
  - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
  - b) TOTAL ROOF AREA = 160 SQFT.
  - c) TOTAL RIDGE LENGTH = 80 FT.
  - d) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
  - e) NO ROOFTOP APPURTENANCES.
- 2) HEIGHT OF GRADE TO EAVE IS 7'-0".
- 3) FENCE AND MATURE VEGETATION AT NORTH AND WEST SIDES. PUBLIC SIDEWALK ALONG SOUTH AND EAST SIDES.
- 4) GOOGLE MAPS LOCATION:
  - a) <https://maps.app.goo.gl/9hXYECbYr1wrvq6P6>



**EAST ELEVATION**  
NO SCALE

**REVISIONS:**

Title:	Drawn:	Checked:	Date:

**FRIENDSHIP GAZEBO**

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**CITY OF BARNESVILLE, MN / REF No. CP314994**

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FRONT ST N & MAIN AVE W, BARNESVILLE, MN 56514

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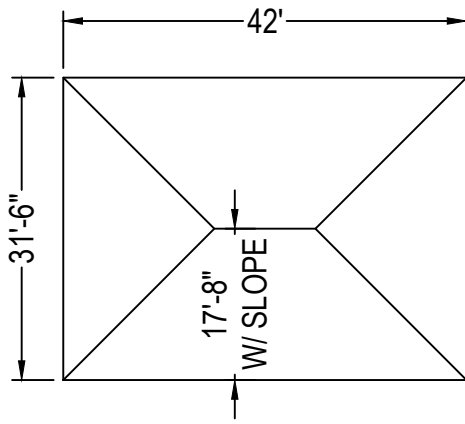
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- BUILDING/SITE INFORMATION:**
- 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
    - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
    - b) TOTAL ROOF AREA = 1480 SQFT.
    - c) TOTAL RIDGE LENGTH = 110 FT.
    - d) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
  - 2) ROOFTOP APPURTENANCES:
    - a) ONE PIPE VENT
    - b) THREE ALUMINUM TURBINE VENTS
    - c) ONE SATELLITE DISH
  - 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 8'-0".
  - 4) SITE IS MOSTLY OPEN WITH ONE LARGE TREE LOCATED AT SOUTHEAST SIDE OF STRUCTURE.
  - 5) GOOGLE MAPS LOCATION:
    - a) <https://maps.app.goo.gl/EF2kSc3vHLAVHYdi7>



**ROOF PLAN**

SCALE: 1"=20'



**SOUTH/EAST ELEVATION**

NO SCALE



**NORTH/WEST ELEVATION**

NO SCALE

**REVISIONS:**

Title:	Drawn:	Checked:	Date:

**WAGNER BATH HOUSE**

---

**CITY OF BARNESVILLE, MN / REF No. CP314994**

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15911 190TH ST S, BARNESVILLE, MN 56514

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PROJECT MANAGER: KM	<b>PRJ NO: 24801378</b>
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**PROJECT SPECIFICATIONS:**

SCOPE OF WORK INCLUDES REMOVAL OF ASPHALT SHINGLE ROOFING SYSTEM AND REPLACEMENT WITH INDUSTRY EQUIVALENT MATERIALS IN ACCORDANCE WITH THE 2020 MINNESOTA BUILDING CODE AND STANDARD INDUSTRY PRACTICES INCLUDING MANUFACTURER INSTALLATION INSTRUCTIONS. REMOVAL AND REINSTALLATION OF ROOFTOP APPURTENANCES AS REQUIRED DURING SHINGLE REPLACEMENT. TURF/SITE RESTORATION AND DISPOSAL OF THE OLD ROOFING MATERIALS SHALL ALSO BE COMPLETED BY THE CONTRACTOR.

**BUILDING/SITE INFORMATION:**

- 1) REFERENCE APPENDIX A-1 FOR HOVER ROOF MEASUREMENTS REPORT.
- 2) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
  - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
  - b) TOTAL ROOF AREA = 1901 SQFT.
  - c) TOTAL RIDGE LENGTH = 66'-8" FT.
  - d) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
- 2) ROOFTOP APPURTENANCES:
  - a) THREE PIPE VENTS
- 3) POWER LINE ATTACHED TO STRUCTURE LONG NORTH ELEVATION. PUTTING GREEN ON SOUTH SIDE. MATURE VEGETATION AND GOLF COURSE ON EAST SIDE.
- 4) GOOGLE MAPS LOCATION:
  - a) <https://maps.app.goo.gl/3snBanmb1Hn8g7TW8>



**NORTH ELEVATION**

NO SCALE



**SOUTH/WEST ELEVATION**

NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

**GOLF CLUBHOUSE**

**CITY OF BARNESVILLE, MN / REF No. CP314994**

21145 MN-34, BARNESVILLE, MN 56514

PROJECT MANAGER: KM  
 DRAWN BY: TM      DRAWN DATE: 06/04/2024  
 CHECKED BY:      CHECKED DATE:

**PRJ NO: 24801378**

**1 OF 1**

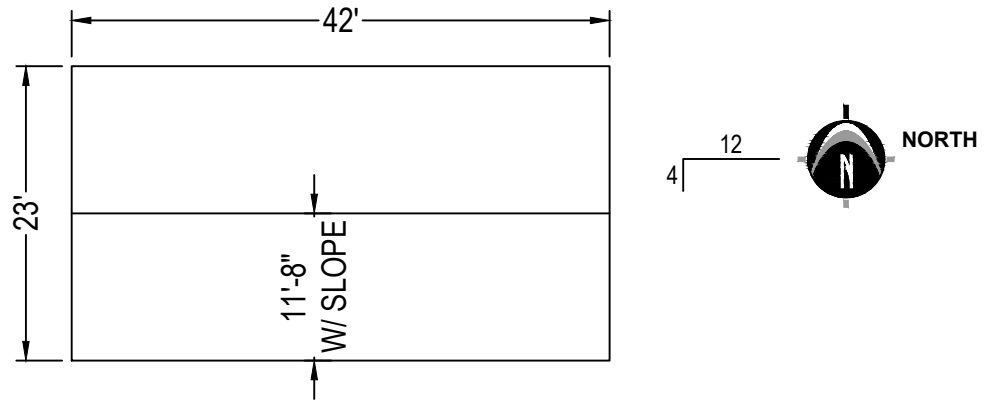


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**PROJECT SPECIFICATIONS:**  
 SCOPE OF WORK INCLUDES REMOVAL OF ASPHALT SHINGLE ROOFING SYSTEM AND ALUMINUM FASCIA AND REPLACEMENT WITH INDUSTRY EQUIVALENT MATERIALS IN ACCORDANCE WITH THE 2020 MINNESOTA BUILDING CODE AND STANDARD INDUSTRY PRACTICES INCLUDING MANUFACTURER INSTALLATION INSTRUCTIONS. REMOVAL AND REINSTALLATION OF ROOFTOP APPURTENANCES AS REQUIRED DURING SHINGLE REPLACEMENT. TURF/SITE RESTORATION AND DISPOSAL OF THE OLD ROOFING MATERIALS SHALL ALSO BE COMPLETED BY THE CONTRACTOR.

- BUILDING/SITE INFORMATION:**
- 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
    - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
    - b) TOTAL ROOF AREA = 980 SQFT.
    - c) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
    - d) TWO LAYERS OF SHINGLES CURRENTLY INSTALLED ON ROOF.
  - 2) ROOFTOP APPURTENANCES:
    - a) ONE POWER LINE ROOF MAST
  - 3) 6" ALUMINUM FASCIA.
  - 4) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 7'-10".
  - 5) SITE IS MOSTLY OPEN WITH SOME MATURE VEGETATION ON NORTH SIDE AND POWER LINE AT EAST SIDE OF ROOF.
  - 6) GOOGLE MAPS LOCATION:
    - a) <https://maps.app.goo.gl/1uZfrAv7ShaygTj18>



**ROOF PLAN**  
 SCALE: 1":15'



**SOUTH ELEVATION**  
 NO SCALE



**NORTH/EAST ELEVATION**  
 NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

**GARAGE AT GOLF COURSE**

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**CITY OF BARNESVILLE, MN / REF No. CP314994**

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21145 MN-34, BARNESVILLE, MN 56514

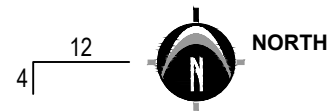
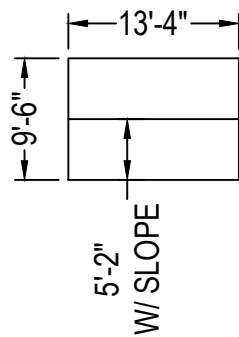
PROJECT MANAGER: KM	<b>PRJ NO: 24801378</b>
DRAWN BY: TM      DRAWN DATE: 06/04/2024	
CHECKED BY:      CHECKED DATE:	

**1 OF 1**

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**PROJECT SPECIFICATIONS:**  
 SCOPE OF WORK INCLUDES REMOVAL OF ASPHALT SHINGLE ROOFING SYSTEM AND REPLACEMENT WITH INDUSTRY EQUIVALENT MATERIALS IN ACCORDANCE WITH THE 2020 MINNESOTA BUILDING CODE AND STANDARD INDUSTRY PRACTICES INCLUDING MANUFACTURER INSTALLATION INSTRUCTIONS. TURF/SITE RESTORATION AND DISPOSAL OF THE OLD ROOFING MATERIALS SHALL ALSO BE COMPLETED BY THE CONTRACTOR.

- BUILDING/SITE INFORMATION:**
- 1) ROOF IS TO BE COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
    - a) TYPICAL 30 YEAR WARRANTY ARCHITECTURAL SHINGLE.
    - b) TOTAL ROOF AREA = 140 SQFT.
    - c) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
  - 2) ROOFTOP APPURTENANCES:
    - a) ONE POWER LINE ROOF MAST
  - 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 7'-10".
  - 4) MATURE VEGETATION ON SOUTH SIDE THAT OVERHANGS THE ROOF.
  - 5) GOOGLE MAPS LOCATION:
    - a) <https://maps.app.goo.gl/g3oMju9thozWjQHE7>



## ROOF PLAN

SCALE: 1":15'



**EAST ELEVATION**

NO SCALE



**NORTH/WEST ELEVATION**

NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

### SHELTER AT GOLF COURSE

CITY OF BARNESVILLE, MN / REF No. CP314994

21145 MN-34, BARNESVILLE, MN 56514

PROJECT MANAGER: KM  
 DRAWN BY: TM      DRAWN DATE: 06/06/2024  
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**PRJ NO: 24801378**

**1 OF 1**

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# **Appendix A-1**

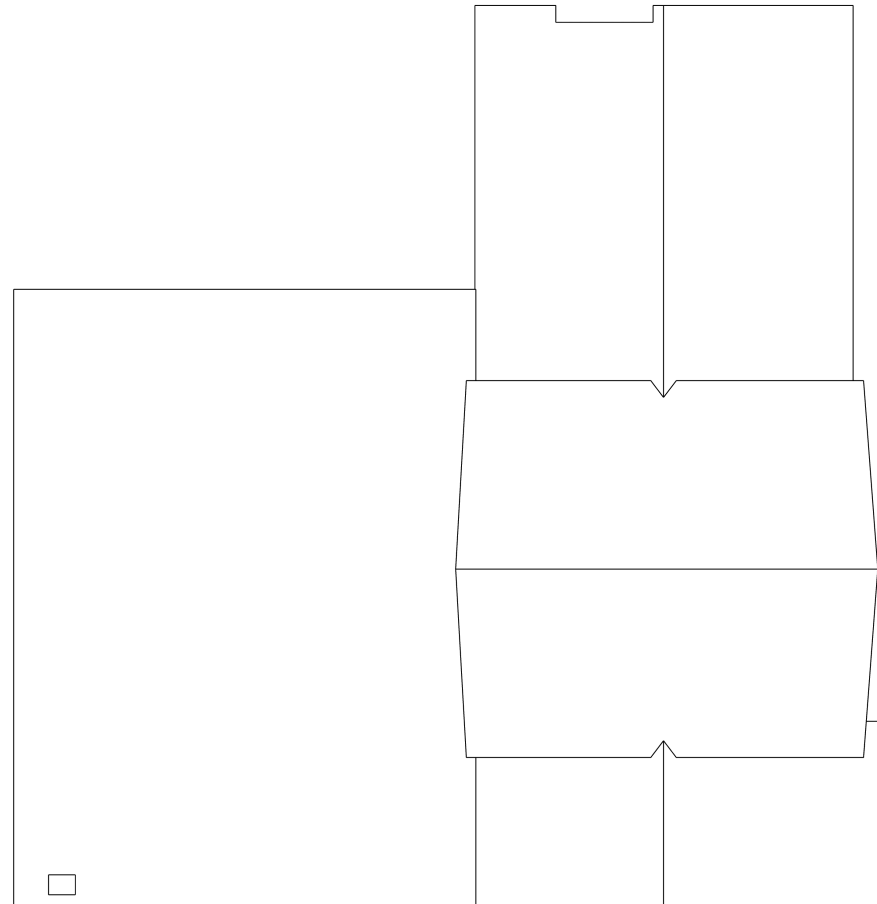


VIEW 3D MODEL



Roof	Area	Total	Length
Roof Facets	3226 ft <sup>2</sup>	7	-
Ridges / Hips	-	3	66' 8"
Valleys	-	4	6'
Rakes	-	13	176' 6"
Eaves	-	9	153' 3"
Flashing	-	9	26' 8"
Step Flashing	-	13	69' 5"
Drip Edge/Perimeter	-	-	329' 9"

Roof Pitch*	Area	Percentage
5 / 12	1901 ft <sup>2</sup>	58.93%
1 / 12	1325 ft <sup>2</sup>	41.07%

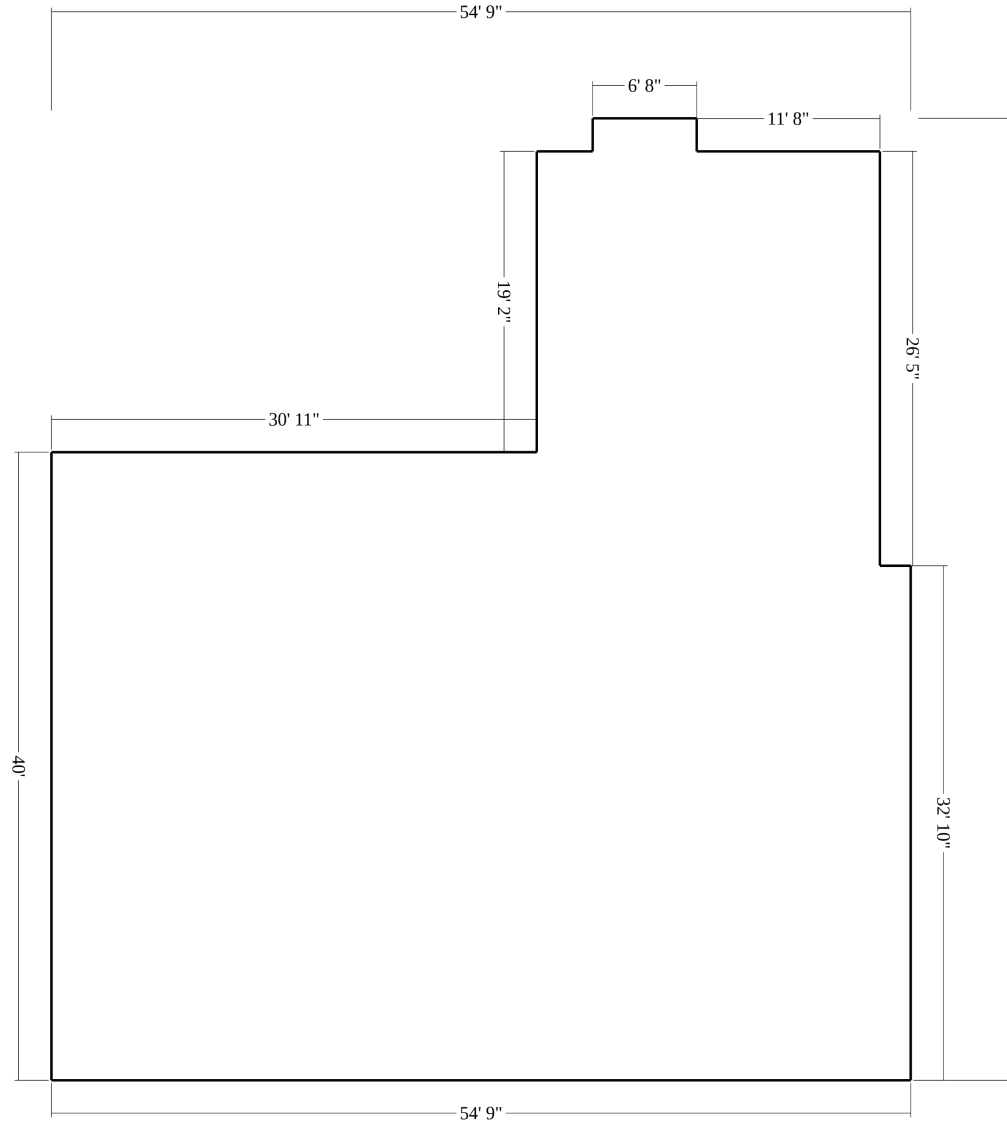


**Example Waste Factor Calculations**

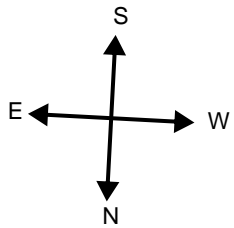
	Zero Waste	+5%	+10%	+15%	+20%
<b>Area</b>	3226 ft <sup>2</sup>	3387 ft <sup>2</sup>	3549 ft <sup>2</sup>	3710 ft <sup>2</sup>	3871 ft <sup>2</sup>
<b>Squares</b>	32⅓	34	35⅓	37⅓	39

The table above provides the total roof area of a given property using waste percentages as noted. Please consider that area values and specific waste factors can be influenced by the size and complexity of the property, captured image quality, specific roofing techniques, and your own level of expertise. Additional square footage for Hip, Ridge, and Starter shingles are not included in this waste factor and will require additional materials. This table is only intended to make common waste calculations easier and should not be interpreted as recommendations.

BACK



FRONT

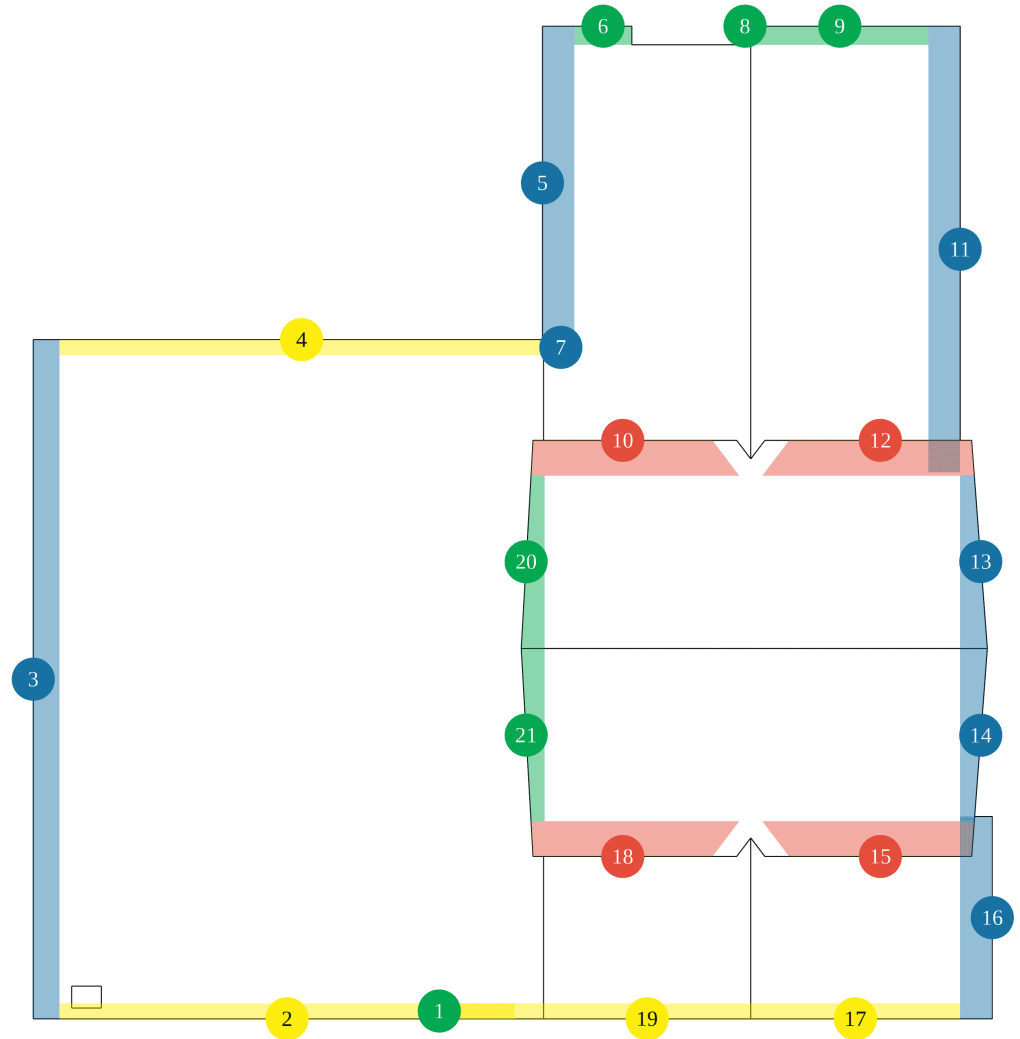


Number of Stories: > 1  
Footprint Perimeter: 232' 2"  
Footprint Area: 2612 ft<sup>2</sup>



Soffit Summary

Depth	Type	Count	Total Length	Total Area
0" - 1"	eaves	4	51' 10"	111 ft <sup>2</sup>
6" - 12"	rakes	4	92' 5"	89 ft <sup>2</sup>
12" - 18"	rakes	5	39' 5"	45 ft <sup>2</sup>
	eaves	1	1'	1 ft <sup>2</sup>
18" - 24"	rakes	2	22' 8"	29 ft <sup>2</sup>
	eaves	5	102' 4"	187 ft <sup>2</sup>
<b>Totals</b>			<b>309' 7"</b>	<b>462 ft<sup>2</sup></b>



Soffit Breakdown

num	Type	Depth	Length	Area	Pitch
1	eave	15"	1'	1 ft <sup>2</sup>	5 / 12
2	rake	12"	28' 3"	27 ft <sup>2</sup>	1 / 12
3	eave	19"	41' 11"	68 ft <sup>2</sup>	1 / 12
4	rake	12"	30' 3"	29 ft <sup>2</sup>	1 / 12
5	eave	24"	19' 4"	38 ft <sup>2</sup>	5 / 12
6	rake	14"	3' 11"	4 ft <sup>2</sup>	5 / 12
7	eave	20"	1'	2 ft <sup>2</sup>	5 / 12
8	rake	14"	10"	1 ft <sup>2</sup>	5 / 12
9	rake	14"	12'	14 ft <sup>2</sup>	5 / 12
10	eave	1"	12' 10"	28 ft <sup>2</sup>	5 / 12
11	eave	24"	27' 7"	54 ft <sup>2</sup>	5 / 12
12	eave	1"	13' 1"	28 ft <sup>2</sup>	5 / 12
13	rake	20"	11' 4"	14 ft <sup>2</sup>	5 / 12
14	rake	20"	11' 3"	14 ft <sup>2</sup>	5 / 12
15	eave	1"	13' 1"	28 ft <sup>2</sup>	5 / 12
16	eave	24"	12' 6"	25 ft <sup>2</sup>	5 / 12
17	rake	12"	14' 2"	14 ft <sup>2</sup>	5 / 12
18	eave	1"	12' 10"	28 ft <sup>2</sup>	5 / 12
19	rake	12"	19' 9"	19 ft <sup>2</sup>	5 / 12

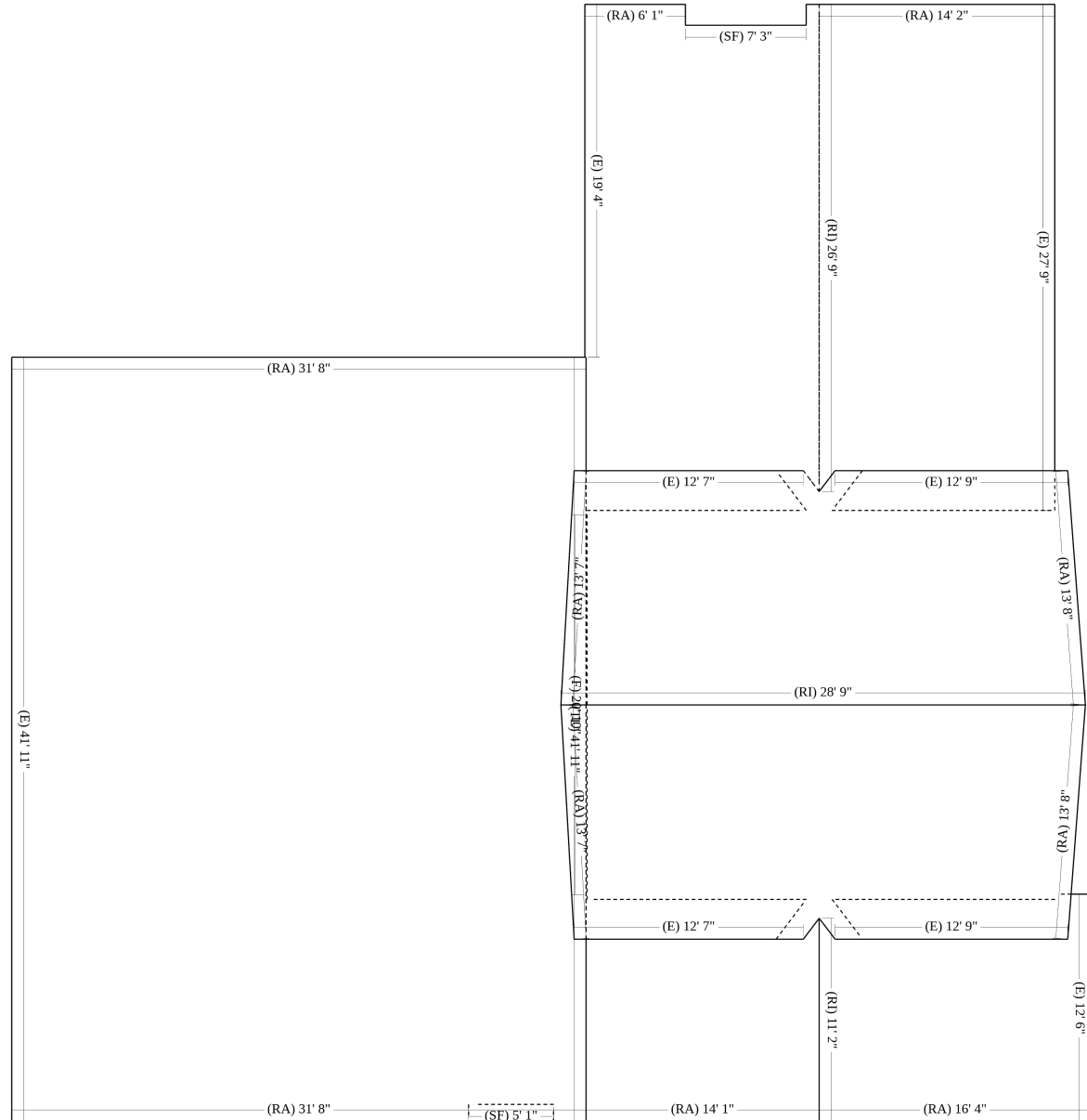
20	rake	17"	11' 4"	13 ft <sup>2</sup>	5 / 12
21	rake	17"	11' 4"	13 ft <sup>2</sup>	5 / 12

⊘ Feature is too small to label on the plan diagram



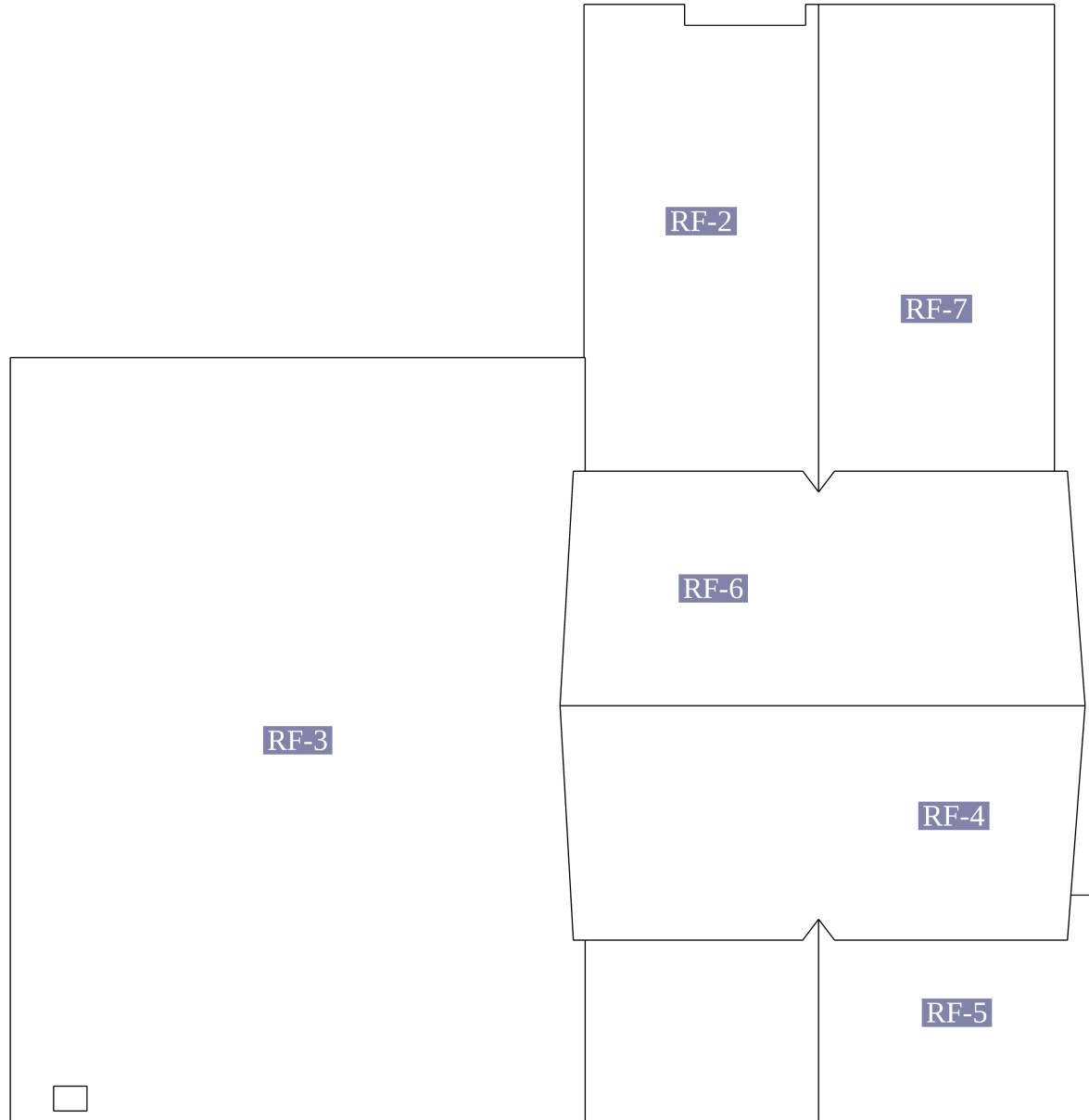
Roof	Length
Ridges (RI)	66' 8"
Hips (H)	-
Valleys (V)	6'
Rakes (RA)	176' 6"
Eaves (E)	153' 3"
Flashing (F)*	26' 8"
Step Flashing (SF)*	69' 5"
Transition Line (TL)	41' 11"

\*Please view the 3D model for more detail (e.g. flashing, step flashing and some other roof lines may be difficult to see on the PDF)



Roof Facets

Facet	Area	Pitch
RF-1	5 ft <sup>2</sup>	5/12
RF-2	550 ft <sup>2</sup>	5/12
RF-3	1325 ft <sup>2</sup>	1/12
RF-4	379 ft <sup>2</sup>	5/12
RF-5	197 ft <sup>2</sup>	5/12
RF-6	379 ft <sup>2</sup>	5/12
RF-7	391 ft <sup>2</sup>	5/12

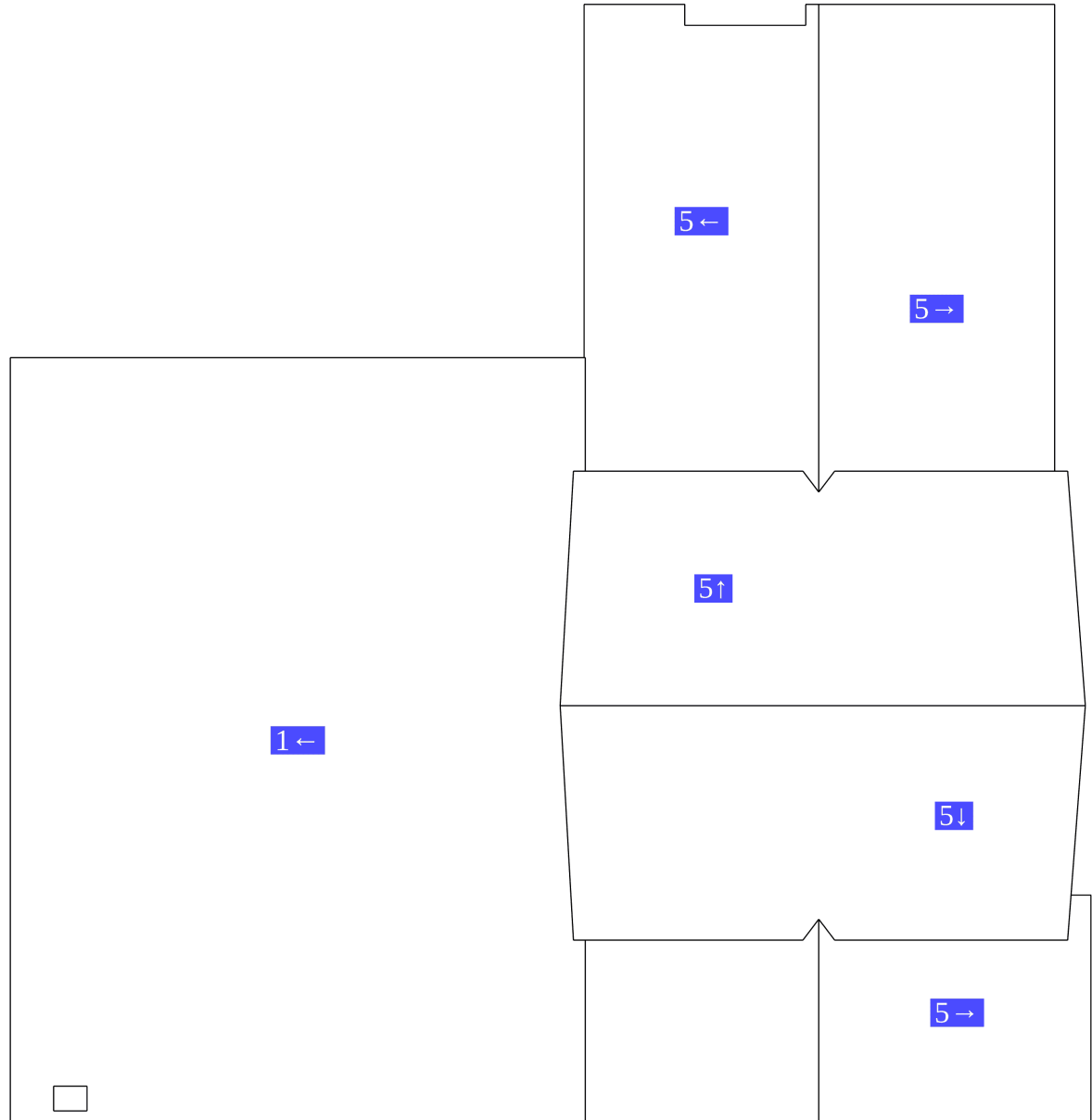




Roof	Facets	Total
Total	7	3226 ft <sup>2</sup>



Roof Pitch	Area	Percentage
5 / 12	1901 ft <sup>2</sup>	58.93%
1 / 12	1325 ft <sup>2</sup>	41.07%











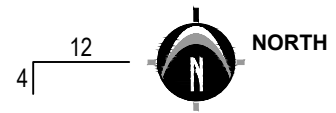
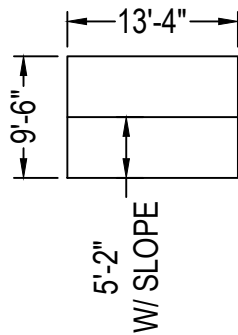


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**BUILDING/SITE INFORMATION:**

- 1) ROOF IS COVERED WITH LAMINATED, FIBERGLASS-REINFORCED ASPHALT COMPOSITION SHINGLES.
  - a) SHINGLE UNITS 38-3/4" WIDE WITH A TYPICAL 5-1/2" EXPOSURE
  - b) 12" RIDGE CAP SHINGLES WITH 5" EXPOSURE.
  - c) TOTAL ROOF AREA = 140 SQFT.
  - d) WASTE FACTOR NOT INCLUDED WITH ROOF AREA.
- 2) ROOFTOP APPURTENANCES:
  - a) ONE POWER LINE ROOF MAST
- 3) HEIGHT OF GRADE TO UNDERSIDE OF SOFFIT IS 7'-10".
- 4) MATURE VEGETATION ON SOUTH SIDE THAT OVERHANGS THE ROOF.
- 5) GOOGLE MAPS LOCATION:
  - a) <https://maps.app.goo.gl/g3oMju9thozWjQHE7>



**ROOF PLAN**

SCALE: 1":15'



**EAST ELEVATION**

NO SCALE



**NORTH/WEST ELEVATION**

NO SCALE

**REVISIONS:**

Title:		
Drawn:	Checked:	Date:

**SHELTER AT GOLF COURSE**

CITY OF BARNESVILLE, MN / REF No. CP314994

21145 MN-34, BARNESVILLE, MN 56514

PROJECT MANAGER: KM  
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